

PRP Inspections Inc.

"Helping You Make Informed Decisions"

Tel: 858-472-6476
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SUMMARY REPORT

Client: Jeff Rosa (Market Socal)
Inspection Address: 6952 Temple Terrace Street, San Diego, CA 92119
Inspection Date: 9/14/2022 Start: 9:00 am End: 11:30 am
Inspected by: Michael Durnell

This summary report will provide you with a preview of the components or conditions that need service or a second opinion, but it is not definitive. Therefore, it is essential that you read the full report. Regardless, in recommending service we have fulfilled our contractual obligation as generalists, and therefore disclaim any further responsibility. However, service is essential, because a specialist could identify further defects or recommend some upgrades that could affect your evaluation of the property.

This report is the exclusive property of the Inspection Company and the client whose name appears herewith, and its use by any unauthorized persons is prohibited.

Components and Conditions Needing Service

Exterior

Site & Other Observations Renovations & Additions

- Additions have been made to this property and you should request documentation for your records

Grading & Drainage Drainage Mode

- There is evidence of water pooling in the back yard and drainage to the side yard that will migrate to the neighbors

House Wall Finish House Wall Finish Observations

- There is a hole in the stucco on the side wall that should be sealed to keep out birds and pests from the attic

Exterior Components

Lights

- We were unable to test some of the outdoor flood lights or security lights which may have photo sensors on them

Closed in Patio

- There is damaged or missing siding around the structure which should be evaluated and serviced
- There is water damage to the eaves and sheathing that is visible under the eaves which needs serviced
- The concrete is slopped into the structure which will cause water intrusion is wind blown rain hits the concrete
- The flood light is hanging from the wires and the outlet on the back is not GFCI which should be serviced
- The post on the overhang for the closed in patio outside the master bathroom is not mounted to the concrete
- There is exposed electrical wiring on the corner of the structure that should terminate in a sealed junction box
- There is damage to the carpet and you should view this for yourself and may wish to have it replaced
- All of the open grounded outlets should have GFCI for electrical safety reasons

- The room has one register and given its size two would be normally required which you should be aware of
- The exterior door is damage and appears to have broken glass which needs serviced or replaced

Sheds

- The outlets in the shed should be GFCI for electrical safety reasons
- The eaves of the shed are water damaged and should be evaluated by a termite inspector and roofer

Roof

Composition Shingle Roof

With Flat Roofed Sections

- The seams of the flat roof sections and the edges need serviced by a licensed roofer before close of escrow
- The roof to wall transition is not metal and the roll roofing has detached from the home which needs serviced

Gutters & Drainage

- The patio gutter needs to be cleaned and or serviced to drain properly
- The roof only has partial gutters and full gutters are recommended to prevent pooling water around the residence

Plumbing

Potable Water Supply Pipes

Pressure Regulators

- The pressure is starting off high and dropping to the preset which indicates the regulator needs replaced

Gas Water Heaters

Vent Pipe & Cap

- The heat vent includes a Transite pipe that you may wish to have replaced

Waste & Drainage Systems

Type of Material

- The visible portions of the main drainpipe is an older cast-iron type which we recommend be video scanned

Electrical

Main Panel

Circuit Breakers

- Various circuits are not labeled which is recommended
- A 40 amp breaker is double tapped with a 20 amp wires which is a fire hazard and should be serviced

Heat

Forced-Air Furnaces

ACM Ducting

- The ducts include a known asbestos-containing material that is in friable condition

Living

Interior Home Conditions

Outlets

- Most all of the outlets in the home are ungrounded and have three pronged outlets installed

Main Entry

Doors

- There is no doorbell and you may wish to have one installed

Dining Room

Sliding Glass Door

- The sliding glass doors do not appear to include tempered glass which is a modern day safety required feature

Bedrooms

Master Bedroom

Smoke Detector

- There is no smoke detector and although one may not be mandated it is strongly recommended

1st Guest Bedroom

Smoke Detector

- There is no smoke detector and although one may not be mandated it is strongly recommended

2nd Guest Bedroom

Smoke Detector

- There is no smoke detector and although one may not be mandated it is strongly recommended

Doors

- The door has a hole in it and needs to be patched or the door replaced

Single-Glazed Windows

- The window does not open onto a public street an alleyway or a courtyard to facilitate an emergency exit

Bathrooms

Main Bathroom

Lights

- The plastic cover is missing on the light enclosure which you may wish to replace for aesthetics reasons

Exhaust Fan

- The exhaust fan cover needs to be cleaned for the unit to move the most efficient amount of air

Toilet & Bidet

- The toilet is loose and should be lifted and inspected for leaks and reinstalled and sealed to the floor properly

Sink Faucet Valves & Connectors Trap & Drain

- The mechanical sink stopper is incomplete and should be serviced
- The faucet valve are leaking and needs serviced or replaced

Kitchen

Kitchen

Garbage Disposal

- The the electrical to the garbage is substandard and has an outlet on conduit which should be evaluated

Dishwasher

- The dishwasher is not equipped with a mandated anti-siphon valve
- The dishwasher was not tested due to its age and the possibility of it leaking

Outlets

- An outlet on the island does not have power and needs serviced

Electrical

- There is exposed romex in one of the upper cabinets that should be in conduit for electrical safety reasons
- There is exposed electric romex under the cooktop which should be concealed in conduit for electrical safety

Hallway

Primary Hallway

Smoke Detector

- There is no smoke detector and one is mandated which should be installed for obvious safety reasons

Carbon Monoxide Detector

- There is no carbon monoxide detector in the hallway which is mandated and one should be installed

Laundry

Laundry Room

Dryer Vent

- We recommend the dryer vent be cleaned to insure it is not dirty or clogged which appears clogged in the attic

Garage

Double-Car Garage

Slab Floor

- The garage is too full to permit a clear view of the slab or walls and should be viewed empty before close of escrow

Walls & Ceiling

- There are open voids in the walls that should be sealed to keep out pests or birds

Firewall Separation

- The void in the garage firewall must be repaired

Entry Door Into the House

- The house entry door is not self-closing and should be serviced and seal to maintain the proper garage firewall

Garage Door & Hardware

- The cables are loose and the springs need serviced by a licensed garage door specialist

Outlets

- All the outlets should have ground-fault protection
- The outlet on the interior wall is recessed in the wall and needs to be serviced to be functional

Electrical

- There is exposed electrical romex that we recommend be in conduit below 8 ft or covered to protect the wire

Attic

Primary Attic

Exhaust Ducts

- The main bathroom exhaust duct should be extended to an exterior vent port

No Insulation

- Insulation has been moved or pulled up in some areas and should be replaced or reinstalled

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CONFIDENTIAL INSPECTION REPORT

PREPARED FOR:
Jeff Rosa (Market Socal)

INSPECTION ADDRESS

6952 Temple Terrace Street, San Diego, CA 92119

INSPECTION DATE

9/14/2022 9:00 am to 11:30 am



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GENERAL INFORMATION

Inspection Address: 6952 Temple Terrace Street, San Diego, CA 92119
Inspection Date: 9/14/2022 Time: 9:00 am to 11:30 am
Weather: Clear and Dry - Temperature at time of inspection: 80-90 Degrees

Inspected by: Michael Durnell

Client Information: Jeff Rosa (Market Socal)
Structure Type: Wood Frame
Foundation Type: Slab
Furnished: Yes
Number of Stories: One

Structure Orientation: South

Estimated Year Built: 1964
Unofficial Sq.Ft.: 1400

People on Site At Time of Inspection: Seller(s)

PLEASE NOTE:

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The observations and opinions expressed within this report are those of PRP Inspections and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of CREIA (California Real Estate Inspection Association, and those that we do not inspect are clearly disclaimed in the contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed well before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Report File: 6952TempleTer-St-SD-106-22

SCOPE OF WORK

You have contracted with PRP Inspections to perform a generalist inspection in accordance with the standards of practice established by CREIA (California Real Estate Inspection Association), a copy of which is available upon request. Generalist inspections are essentially visual, and distinct from those of specialists, inasmuch as they do not include the use of specialized instruments, the dismantling of equipment, or the sampling of air and inert materials. Consequently, a generalist inspection and the subsequent report will not be as comprehensive, nor as technically exhaustive, as that generated by specialists, and it is not intended to be. The purpose of a generalist inspection is to identify significant defects or adverse conditions that would warrant a specialist evaluation. Therefore, you should be aware of the limitations of this type of inspection, which are clearly indicated in the standards. However, the inspection is not intended to document the type of cosmetic deficiencies that would be apparent to the average person, and certainly not intended to identify insignificant deficiencies. Similarly, we do not inspect for vermin infestation, which is the responsibility of a licensed exterminator.

Most homes built after 1978, are generally assumed to be free of asbestos and many other common environmental contaminants. However, as a courtesy to our clients, we are including some well documented, and therefore public, information about several environmental contaminants that could be of concern to you and your family, all of which we do not have the expertise or the authority to evaluate, such as asbestos, radon, methane, formaldehyde, termites and other wood-destroying organisms, pests and rodents, molds, microbes, bacterial organisms, and electromagnetic radiation, to name some of the more commonplace ones. Nevertheless, we will attempt to alert you to any suspicious substances that would warrant evaluation by a specialist. However, health and safety, and environmental hygiene are deeply personal responsibilities, and you should make sure that you are familiar with any contaminant that could affect your home environment. You can learn more about contaminants that can affect your home from a booklet published by The Environmental Protection Agency, which you can read online at www.epa.gov/iaq/pubs/insidest.htm.

Mold is one such contaminant. It is a microorganism that has tiny seeds, or spores, that are spread on the air then land and feed on organic matter. It has been in existence throughout human history, and actually contributes to the life process. It takes many different forms, many of them benign, like mildew. Some characterized as allergens are relatively benign but can provoke allergic reactions among sensitive people, and others characterized as pathogens can have adverse health effects on large segments of the population, such as the very young, the elderly, and people with suppressed immune systems. However, there are less common molds that are called toxigens that represent a serious health threat. All molds flourish in the presence of moisture, and we make a concerted effort to look for any evidence of it wherever there could be a water source, including that from condensation. Interestingly, the molds that commonly appear on ceramic tiles in bathrooms do not usually constitute a health threat, but they should be removed. However, some visibly similar molds that form on cellulose materials, such as on drywall, plaster, and wood, are potentially toxigenic. If mold is to be found anywhere within a home, it will likely be in the area of tubs, showers, toilets, sinks, water heaters, evaporator coils, inside attics with unvented bathroom exhaust fans, and return-air compartments that draw outside air, all of which are areas that we inspect very conscientiously. Nevertheless, mold can appear as though spontaneously at any time, so you should be prepared to monitor your home, and particularly those areas that we identified. Naturally, it is equally important to maintain clean air-supply ducts and to change filters as soon as they become soiled, because contaminated ducts are a common breeding ground for dust mites, rust, and other contaminants. Regardless, although some mold-like substances may be visually identified, the specific identification of molds can only be determined by specialists and laboratory analysis, and is absolutely beyond the scope of our inspection. Nonetheless, as a prudent investment in environmental hygiene, we categorically recommend that you have your home tested for the presence of any such contaminants, and particularly if you or any member of your family suffers from allergies or asthma. Also, you can learn more about mold from an Environmental Protection Agency document entitled "A Brief Guide to Mold, Moisture and Your Home," by visiting their web site at: <http://www.epa.gov/iaq/molds/moldguide.html>, from which it can be downloaded.

Asbestos is a notorious contaminant that could be present in any home built before 1978. It is a naturally occurring mineral fiber that was first used by the Greek and Romans in the first century, and it has been widely used throughout the modern world in a variety of thermal insulators, including those in the form of paper wraps, bats, blocks, and blankets. However, it can also be found in a wide variety of other products too numerous to mention, including duct insulation and acoustical materials, plasters, siding, floor tiles, heat vents, and roofing.

products. Although perhaps recognized as being present in some documented forms, asbestos can only be specifically identified by laboratory analysis. The most common asbestos fiber that exists in residential products is chrysotile, which belongs to the serpentine or white-asbestos group, and was used in the clutches and brake shoes of automobiles for many years. However, a single asbestos fiber is said to be able to cause cancer, and is therefore a potential health threat and a litigious issue. Significantly, asbestos fibers are only dangerous when they are released into the air and inhaled, and for this reason authorities such as the Environmental Protection Agency [EPA] and the Consumer Product Safety Commission [CPSC] distinguish between asbestos that is in good condition, or non-friable, and that which is in poor condition, or friable, which means that its fibers could be easily crumbled and become airborne. However, we are not specialists and, regardless of the condition of any real or suspected asbestos-containing material [ACM], we would not endorse it and recommend having it evaluated by a specialist.

Radon is a gas that results from the natural decay of radioactive materials within the soil, and is purported to be the second leading cause of lung cancer in the United States. The gas is able to enter homes through the voids around pipes in concrete floors or through the floorboards of poorly ventilated crawlspaces, and particularly when the ground is wet and the gas cannot easily escape through the soil and be dispersed into the atmosphere. However, it cannot be detected by the senses, and its existence can only be determined by sophisticated instruments and laboratory analysis, which is completely beyond the scope of our service. However, you can learn more about radon and other environmental contaminants and their affects on health, by contacting the Environmental Protection Agency (EPA), at www.epa.gov/radon/images/hmbuygud.pdf, and it would be prudent for you to enquire about any high radon readings that might be prevalent in the general area surrounding your home.

Lead poses an equally serious health threat. In the 1920's, it was commonly found in many plumbing systems. In fact, the word "plumbing" is derived from the Latin word "plumbum," which means lead. When in use as a component of a waste system, it is not an immediate health threat, but as a component of potable water pipes it is a definite health-hazard. Although rarely found in modern use, lead could be present in any home build as recently as the nineteen forties. For instance, lead was an active ingredient in many household paints, which can be released in the process of sanding, and even be ingested by small children and animals chewing on painted surfaces. Fortunately, the lead in painted surfaces can be detected by industrial hygienists using sophisticated instruments, but testing for it is not cheap. There are other environmental contaminants, some of which we have already mentioned, and others that may be relatively benign. However, we are not environmental hygienists, and as we stated earlier we disclaim any responsibility for testing or establishing the presence of any environmental contaminant, and recommend that you schedule whatever specialist inspections that may deem prudent within the contingency period.

Structural

All structures are dependent on the soil beneath them for support, but soils are not uniform. Some that might appear to be firm and solid can liquefy and become unstable during seismic activity. Also, there are soils that can expand to twice their volume with the influx of water and move structures with relative ease, raising and lowering them and fracturing slabs and other hard surfaces. In fact, expansive soils have accounted for more structural damage than most natural disasters. Regardless, foundations are not uniform, and conform to the structural standard of the year in which they were built. In accordance with our standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, cracks or deteriorated surfaces in foundations are quite common. In fact, it would be rare to find a raised foundation wall that was not cracked or deteriorated in some way, or a slab foundation that did not include some cracks concealed beneath the carpeting and padding. Fortunately, most of these cracks are related to the curing process or to common settling, including some wide ones called cold-joint separations that typically contour the footings, but others can be more structurally significant and reveal the presence of expansive soils that can predicate more or less continual movement. We will certainly alert you to any suspicious cracks if they are clearly visible. However, we are not specialists, and in the absence of any major defects we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

Slab Foundation

Method of Evaluation

Informational Conditions

We evaluated the slab foundation on the exterior, by examining the stem walls that project above the footing at the base of the house walls. The interior portions of the slab, which is also known as the slab floor, have little structural significance and, inasmuch as they are covered and not visually accessible, it is beyond the scope of our inspection.

Common Observations

Informational Conditions

The residence has a slab foundation with no visible or significant abnormalities. Not all the stem walls may have been visible due to vegetation or other items up against the side of the home.

Exterior

With the exception of townhomes, condominiums, and residences that are part of a planned urban development, or PUD, we evaluate the following exterior features: driveways, walkways, fences, gates, handrails, guardrails, yard walls, carports, patio covers, decks, building walls, fascia and trim, balconies, doors, windows, lights, and outlets. However, we do not evaluate any detached structures, such as storage sheds and stables, and we do not water test or evaluate subterranean drainage systems or any mechanical or remotely controlled components, such as driveway gates. Also, we do not evaluate landscape components, such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting. In addition, we do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this could only be confirmed by a geological evaluation of the soil.

Site & Other Observations

Renovations & Additions

Components and Conditions Needing Service

Additions have been made to this property. Therefore, you should request documentation that should include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.

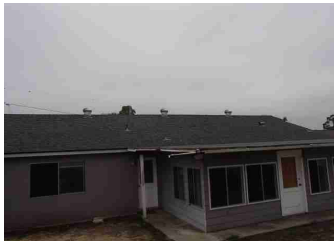


Grading & Drainage

Drainage Mode

Components and Conditions Needing Service

There is evidence of water pooling in the back yard and drainage to the side yard that will migrate to the neighbors. We recommend a licensed drainage specialist evaluate and correct this condition. Pooling water the foundation can lead to settling and cracking of the slab.



House Wall Finish

House Wall Finish Type

Informational Conditions

The house walls are finished with stucco.

House Wall Finish Observations

Components and Conditions Needing Service

There is a hole in the stucco on the side wall that should be sealed to keep out birds and pests from the attic.



Exterior Components

Driveways

Informational Conditions

There are offsets in the driveway that could prove to be trip-hazards for children or the elderly and could rub lower cars, which you may to evaluate for yourself.



Lights

Components and Conditions Needing Service

We were unable to test some of the outdoor flood lights or security lights which may have photo sensors on them. Recommend sellers ensure the lights are functional.



Closed in Patio

Components and Conditions Needing Service

There is damaged or missing siding around the structure which should be evaluated and serviced.



There is water damage to the eaves and sheathing that is visible under the eaves which needs serviced.



The concrete is slopped into the structure which will cause water intrusion is wind blown rain hits the concrete. We recommend you have a drainage specialist evaluate this concern before close of escrow.

Inspection Address:
Inspection Date/Time:

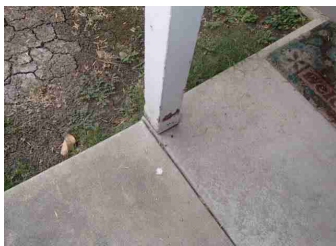
6952 Temple Terrace Street, San Diego, CA 92119
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The flood light is hanging from the wires and the outlet on the back is not GFCI which should be serviced by a licensed electrician for electrical safety reasons.



The post on the overhang for the closed in patio outside the master bathroom is not mounted to the concrete and needs to be serviced.



There is exposed electrical wiring on the corner of the structure that should terminate in a sealed junction box.



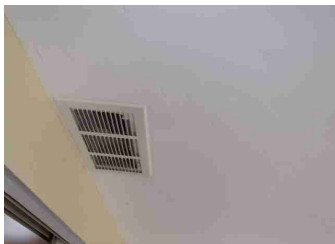
There is damage to the carpet and you should view this for yourself and may wish to have it replaced.



All of the open grounded outlets should have GFCI for electrical safety reasons.



The room has one register and given its size two would be normally required which you should be aware of. The room will be colder than the rest of the home due to this condition.



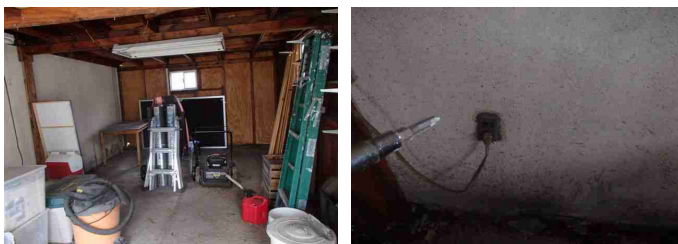
The exterior door is damage and appears to have broken glass which needs serviced or replaced.



Sheds

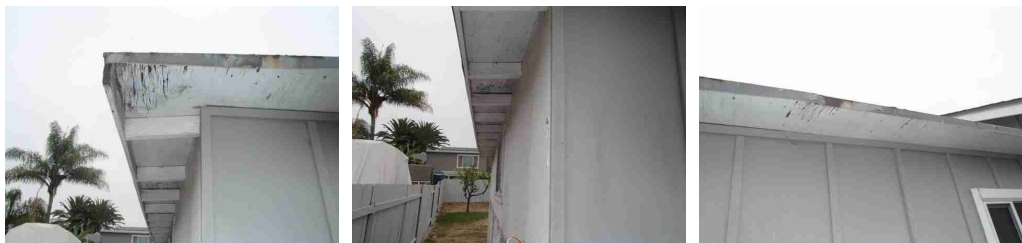
Components and Conditions Needing Service

The outlets in the shed should be GFCI for electrical safety reasons. We recommend a licensed electrician evaluated and serviced this condition.



The eaves of the shed are water damaged and should be evaluated by a termite inspector and roofer.

The eaves of the shed are water damaged and should be evaluated by a termite inspector and roofer - *Continued*



Roof

There are many different roof types, which we evaluate by walking on their surfaces. If we are unable or unwilling to do this for any reason, we will indicate the method that was used to evaluate them. Every roof will wear differently relative to its age, the number of its layers, the quality of its material, the method of its application, its exposure to direct sunlight or other prevalent weather conditions, and the regularity of its maintenance. Regardless of its design-life, every roof is only as good as the waterproof membrane beneath it, which is concealed and cannot be examined without removing the roof material, and this is equally true of almost all roofs. In fact, the material on the majority of pitched roofs is not designed to be waterproof only water-resistant. However, what remains true of all roofs is that, whereas their condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings, or on the framing within attics, could be old and will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. Consequently, only the installers can credibly guarantee that a roof will not leak, and they do. We evaluate every roof conscientiously, and even attempt to approximate its age, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company.

Composition Shingle Roof

Method of Evaluation

Informational Conditions

We evaluated the roof and its components by walking on its surface.

Estimated Age

Informational Conditions

The roof appears to be twelve to fourteen year old, However, this is just an estimate and you should request the installation permit from the sellers, which will reveal its exact age and any warranty or guarantee that might be applicable.

Roofing Material

Informational Conditions

The roof is in acceptable condition, but this is not a guarantee against leaks. For a guarantee, you would need to have a roofing company perform a water-test and issue a roof certification.

With Flat Roofed Sections

Components and Conditions Needing Service

The seams of the flat roof sections and the edges need serviced by a licensed roofer before close of escrow

Inspection Address: 6952 Temple Terrace Street, San Diego, CA 92119
Inspection Date/Time: 9/14/2022 9:00 am to 11:30 am

The seams of the flat roof sections and the edges need serviced by a licensed roofer before close of escrow - *Continued*



The roof to wall transition is not metal and the roll roofing has detached from the home which needs serviced



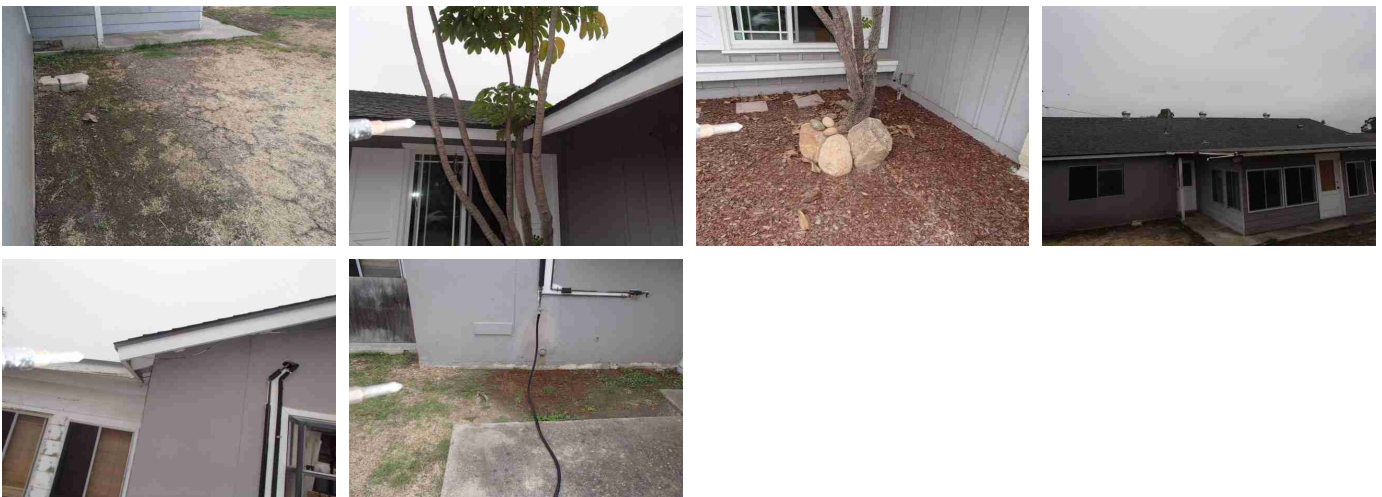
Gutters & Drainage

Components and Conditions Needing Service

The gutter needs to be cleaned and or serviced to drain properly.



The roof only has partial gutters and full gutters are recommended for the general welfare of the residence and its foundation, inasmuch as moisture is a perennial problem on any property which can lead to settling and cracking of the foundation stem walls.



Plumbing

Plumbing systems have common components, but they are not uniform. In addition to fixtures, these components include gas pipes, water pipes, pressure regulators, pressure relief valves, shut-off valves, drain and vent pipes, and water-heating devices, some of which we do not test if they are not in daily use. The best and most dependable water pipes are copper, because they are not subject to the build-up of minerals that bond within galvanized pipes, and gradually restrict their inner diameter and reduce water volume. Water softeners can remove most of these minerals, but not once they are bonded within the pipes, for which there would be no remedy other than a re-pipe. The water pressure within pipes is commonly confused with water volume, but whereas high water volume is good high water pressure is not. In fact, whenever the street pressure exceeds eighty pounds per square inch a regulator is recommended, which typically comes factory preset between forty-five and sixty-five pounds per square inch. However, regardless of the pressure, leaks will occur in any system, and particularly in one with older galvanized pipes, or one in which the regulator fails and high pressure begins to stress the washers and diaphragms within the various components.

Waste and drainpipes pipes are equally varied, and range from modern ABS ones [acrylonitrile butadiene styrene] to older ones made of cast-iron, galvanized steel, clay, and even a cardboard-like material that is coated with tar. The condition of these pipes is usually directly related to their age. Older ones are subject to damage through decay and root movement, whereas the more modern ABS ones are virtually impervious to damage, although some rare batches have been alleged to be defective. However, inasmuch as significant portions of drainpipes are concealed, we can only infer their condition by observing the draw at drains. Nonetheless, blockages will occur in the life of any system, but blockages in drainpipes, and particularly in main drainpipes, can be expensive to repair, and for this reason we recommend having them video-scanned. This could also confirm that the house is connected to the public sewer system, which is important because all private systems must be evaluated by specialists.

Potable Water Supply Pipes

Water Main Shutoff Location

Informational Conditions

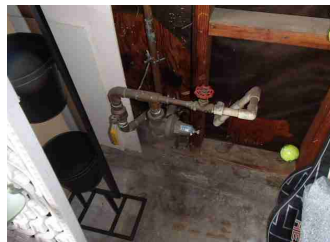
The main water shutoff valve is located at the front of the residence.



Pressure Regulators

Components and Conditions Needing Service

The pressure is starting off high and dropping to the preset which indicates the regulator needs replaced.



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Water Meter

Informational Conditions

The water meter is located in the sidewalk in the front of the home. There is a small dial or triangle, and some may be digital on the meter which should not be moving when nothing is on in the home or grove. If it is moving, this is an indication of a leak in the systems somewhere which needs evaluated and repaired.



General Gas Components

Gas Main Shut-Off Location

Informational Conditions

The gas main shut-off is located in the side yard. You should be aware that gas leaks are not uncommon, particularly underground ones, and that they can be difficult to detect without the use of sophisticated instruments, which is why natural gas is odorized in the manufacturing process. Therefore, we recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak.

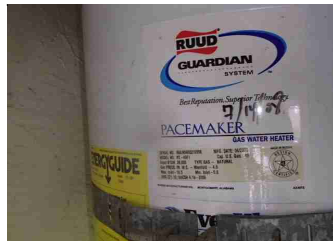
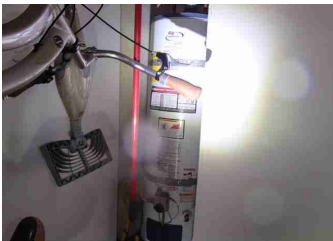


Gas Water Heaters

Age Capacity & Location

Informational Conditions

Hot water is provided by a 14 year, 40 gallon water heater that is located in the garage.



Common Observations

Informational Conditions

The hot water heater is functional but beyond its design life and should be monitored for leaks until it is replaced.

Vent Pipe & Cap

Components and Conditions Needing Service

The heat vent includes a Transite pipe, which is comprised of a solid, cement-like material that is known to contain asbestos fibers. Admittedly, these fibers could not easily escape from within the material, but the majority of heat vents, and certainly those that pass through attics, are required to be double-walled, or Type-B. And, inasmuch as an imperceptible crack in a single-walled vent pipe could result in a fire, we recommend that the Transite pipe be replaced with a modern double-walled type.



Waste & Drainage Systems

Type of Material

Components and Conditions Needing Service

The visible portions of the main drainpipe is an older cast-iron type which we recommend be video scanned to insure the pipe is clear and in acceptable condition. The sellers should disclose if they have had a blockage or if the pipe needs to be periodically cleaned.



Electrical

There are a wide variety of electrical systems with an even greater variety of components, and any one particular system may not conform to current standards or provide the same degree of service and safety. What is most significant about electrical systems however is that the national electrical code [NEC] is not retroactive, and therefore many residential systems do not comply with the latest safety standards. Regardless, we are not electricians and in compliance with our standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, in the interests of safety, we regard every electrical deficiency and recommended upgrade as a latent hazard that should be serviced as soon as possible, and that the entire system be evaluated and certified as safe by an electrician. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because an electrician could reveal additional deficiencies or recommend some upgrades for which we would disclaim any further responsibility. However, we typically recommend upgrading outlets to have ground fault protection, which is a relatively inexpensive but essential safety feature. These outlets are often referred to as GFCI's, or ground fault circuit interrupters and, generally speaking, have been required in specific locations for more than thirty years, beginning with

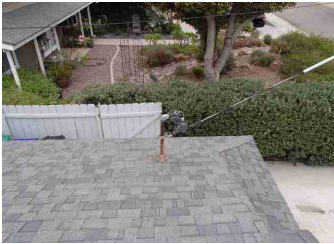
swimming pools and exterior outlets in 1971, and the list has been added to ever since: bathrooms in 1975, garages in 1978, spas and hot tubs in 1981, hydro tubs, massage equipment, boat houses, kitchens, and unfinished basements in 1987, crawlspaces in 1990, wet bars in 1993, and all kitchen countertop outlets with the exception of refrigerator and freezer outlets since 1996. Similarly, AFCI's or arc fault circuit interrupters, represent the very latest in circuit breaker technology, and have been required in all bedroom circuits since 2002. However, inasmuch as arc faults cause thousands of electrical fires and hundreds of deaths each year, we categorically recommend installing them at every circuit as a prudent safety feature.

Main Panel

Service Entrance

Informational Conditions

The service entrance, mast weather head, and cleat are in acceptable condition.



Panel Size & Location

Informational Conditions

The residence is served by a 100 amp, 110-220 volt panel, located on the side of the residence.



Circuit Breakers

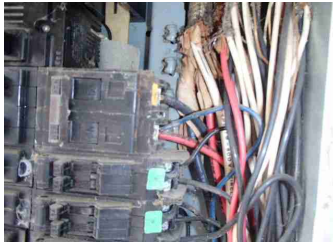
Components and Conditions Needing Service

Various circuits are not labeled, which is recommended.



A 40 amp breaker is double tapped with a 20 amp wires which is a fire hazard and should be serviced by an electrician.

A 40 amp breaker is double tapped with a 20 amp wires which is a fire hazard and should be serviced - *Continued*



Heat

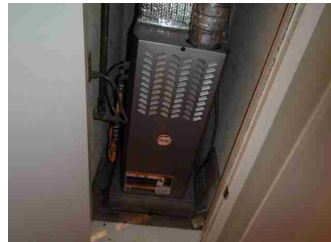
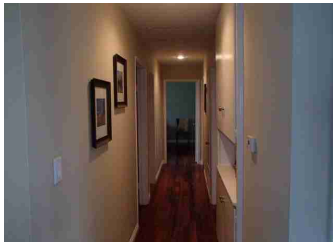
The components of most heating systems have a design-life ranging from ten to twenty years, but can fail prematurely with poor maintenance, which is why we attempt to apprise you of their age. We test and evaluate them in accordance with the standards of practice, which means that we do not dismantle any of the following concealed components: the heat exchanger, which is also known as the firebox, electronic air-cleaners, humidifiers, and in-line duct motors or dampers. However, even the most modern heating systems can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. We perform a conscientious evaluation of all such systems, but we are not specialists. Therefore, in accordance with the terms of our contract, it is essential that any recommendation that we make for service or a second opinion be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee.

Forced-Air Furnaces

Age & Location

Informational Conditions

Central heat is provided by a 18 year old forced-air furnace that is located in a closet in the hallway.



General Comments

Informational Conditions

The residence does not have central air conditioning and you should be aware of this condition. We recommend you get a quote from a licensed HVAC technician so you are aware of the current cost, if you wish to add this feature to the home.

Furnace

Informational Conditions

The furnace is functional.

ACM Ducting

Components and Conditions Needing Service

The ducts are an old and obsolete type that are insulated with a known asbestos-containing material. However, portions of the sleeve insulation are open and have fallen away from the ducts, which should be evaluated by an asbestos abatement contractor.



Living

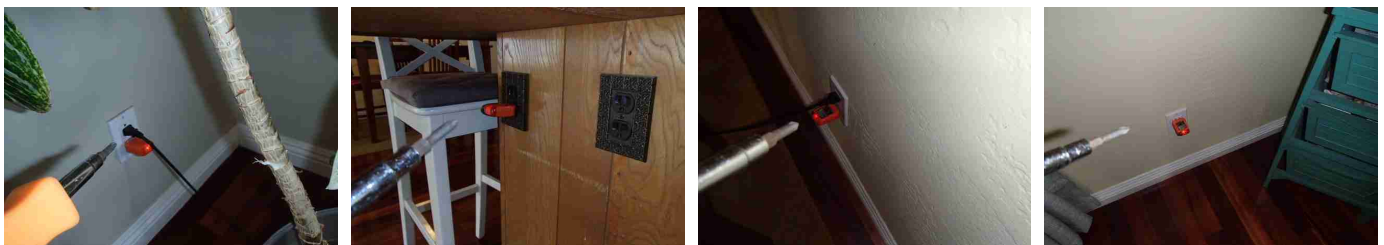
Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments, or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there are a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, inasmuch as the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow.

Interior Home Conditions

Outlets

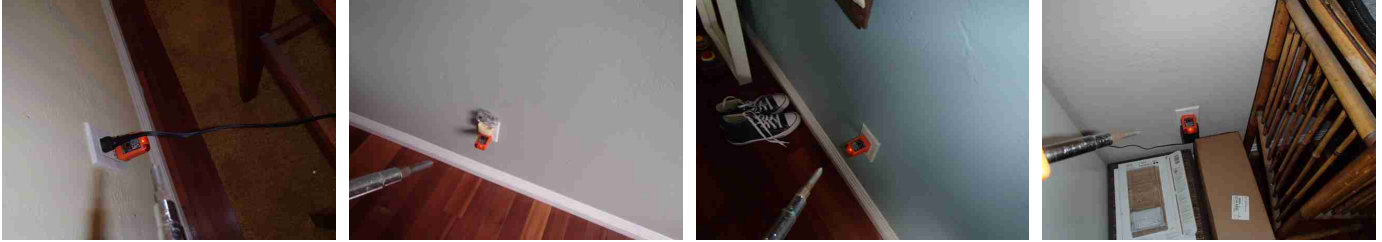
Components and Conditions Needing Service

Most all of the outlets in the home are ungrounded and have three pronged outlets installed. This allows you to plug in electrical components that by today's regulations are required to have grounds. This condition should be evaluated and a ground fault circuit interrupter breaker should be installed on each circuit and or in the main electrical panel.



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Most all of the outlets in the home are ungrounded and have three pronged outlets installed - *Continued*



Indoor Environmental Issues

Environmental Observations

Informational Conditions

Given the age of the residence, asbestos and lead-based paint could be present. In fact, any residence built before or around 1978 should not be assumed to be free from these and other well-known contaminants. Regardless, we do not have the expertise or the authority to detect the presence of environmental contaminants, but if this is a concern you should consult with an environmental hygienist, and particularly if you intend to remodel any area of the residence.



Home Amenities

Security Systems

Informational Conditions

We do not inspect security systems and you may wish to call a specialist to evaluate the system.

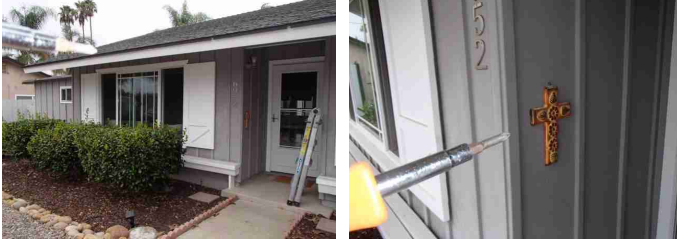


Main Entry

Doors

Components and Conditions Needing Service

There is no doorbell, and you may wish to have one installed. They make battery operated ones that are a simple install.



Living Room

No Recommended Service

Informational Conditions

We have evaluated the living room, and found it to be in acceptable condition.



Dining Room

Sliding Glass Door

Components and Conditions Needing Service

The sliding glass doors do not appear to include tempered glass. For safety reasons, many local jurisdictions require the moving portion to be safety-filmed. However, if children occupy or visit the premises, you may wish to safety-film the stationary portion as well.



Bedrooms

In accordance with the standards of practice, our inspection of bedrooms includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. We evaluate windows to ensure that they meet light and ventilation requirements and facilitate an emergency exit or egress, but we do not evaluate window treatments, nor move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on common cosmetic deficiencies.

Master Bedroom

Smoke Detector

Components and Conditions Needing Service

There is no smoke detector, and although one may not be mandated it is strongly recommended.

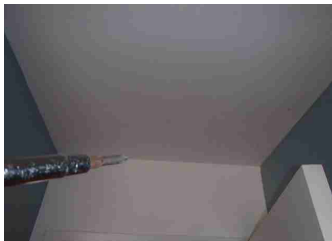
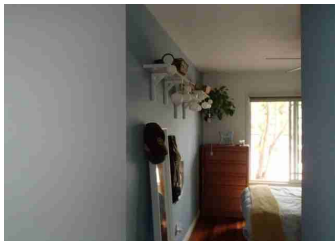


1st Guest Bedroom

Smoke Detector

Components and Conditions Needing Service

There is no smoke detector, and although one may not be mandated it is strongly recommended.



2nd Guest Bedroom

Smoke Detector

Components and Conditions Needing Service

There is no smoke detector, and although one may not be mandated it is strongly recommended.



Doors

Components and Conditions Needing Service

The door has a hole in it and needs to be patched or the door replaced.



Single-Glazed Windows

Components and Conditions Needing Service

The window does not open onto a public street, public alley, yard, or exit court, which facilitates an emergency exit for the occupant or an emergency egress by a fireman wearing a breathing apparatus.

Bathrooms

In accordance with industry standards, we do not comment on common cosmetic deficiencies, and do not evaluate window treatments, steam showers, and saunas. More importantly, we do not leak-test shower pans, which is usually the responsibility of a termite inspector. However, because of the possibility of water damage, most termite inspectors will not leak-test second floor shower pans without the written consent of the owners or occupants.

Main Bathroom

Lights

Components and Conditions Needing Service

The plastic cover is missing on the light enclosure which you may wish to replace for aesthetics reasons.



Outlets

Functional Components and Conditions

The outlets are functional and include ground-fault protection.

Exhaust Fan

Components and Conditions Needing Service

The exhaust fan cover needs to be cleaned for the unit to move the most efficient amount of air to prevent moisture buildup in room.

The exhaust fan cover needs to be cleaned for the unit to move the most efficient amount of air - *Continued*



Toilet & Bidet

Components and Conditions Needing Service

The toilet is loose and should be lifted and inspected for leaks and reinstalled and sealed to the floor properly.



Sink Faucet Valves & Connectors Trap & Drain

Components and Conditions Needing Service

The mechanical sink stopper is incomplete and should be serviced.



The faucet valve are leaking and needs serviced or replaced.



Master Bathroom

No Recommended Service

Informational Conditions

We have evaluated the master bathroom, and found it to be in acceptable condition.

Outlets

Functional Components and Conditions

The outlets are functional and include ground-fault protection except for the ones we point out in the report.



Kitchen

We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Also, many older gas and electric ranges are not secured and can be easily tipped, particularly when any weight is applied to an open range door, and all such appliances should be confirmed to be secure.

Regardless, we do not inspect the following items: free-standing appliances, refrigerators, trash-compactors, built-in toasters, coffee-makers, can-openers, blenders, instant hot-water dispensers, water-purifiers, barbecues, grills or rotisseries, timers, clocks, thermostats, the self-cleaning capability of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and not wired to national electrical standards.

Kitchen

General Comments

Informational Conditions

The appliances were not inspected at the time of the inspection.



Garbage Disposal

Functional Components and Conditions

The garbage disposal is functional.



Components and Conditions Needing Service

The electrical to the garbage disposal is substandard and has an outlet on conduit which should be evaluated and serviced as necessary by a licensed electrician.



Dishwasher

Components and Conditions Needing Service

The dishwasher is functional but discharges without a mandated anti-siphon valve, which is contrary to the installation instructions, and which also creates a potential drainage problem and a health hazard.



The dishwasher was not tested due to its age and the possibility of it leaking and you may wish to ask the sellers if the unit is functional.



Outlets

Informational Conditions

The outlets that were tested within six feet of water are functional and include ground-fault protection except for the ones we point out in the report.

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Components and Conditions Needing Service

An outlet on the island does not have power and needs serviced.



Electrical

Components and Conditions Needing Service

There is exposed romex in one of the upper cabinets that should be in conduit for electrical safety reasons.



There is exposed electric romex under the cooktop which should be concealed in conduit for electrical safety.



Hallway

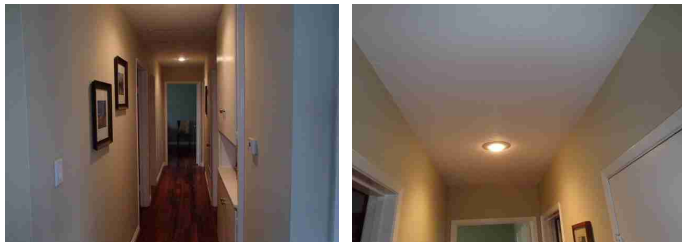
Our evaluation of hallways is identical to that of living space, except that we pay particular attention to safety issues, such as those involving handrails, guardrails, and smoke detectors.

Primary Hallway

Smoke Detector

Components and Conditions Needing Service

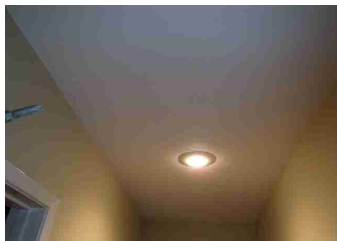
There is no smoke detector and one is mandated which should be installed for obvious safety reasons.



Carbon Monoxide Detector

Components and Conditions Needing Service

There is no carbon monoxide detector in the hallway which is mandated and one should be installed.



Laundry

In accordance with industry standards, we do not test clothes dryers, nor washing machines and their water connections and drainpipes. However, there are two things that you should be aware of. The water supply to washing machines is usually left on, and their hoses can leak or burst under pressure and continue to flow. Therefore, we recommend replacing the rubber hose type with newer braided stainless steel ones that are much more dependable. You should also be aware that the newer washing machines discharge a greater volume of water than many of the older drainpipes can handle, which causes the water to back up and overflow, and the only remedy would be to replace the standpipe and trap with one that is a size larger.

Laundry Room

Dryer Vent

Informational Conditions

Faulty dryer vents have been responsible for thousands of fires, hundreds of injuries, and even deaths. The best vents are a smooth-walled metal type that travels a short distance; all other types should be regarded as suspect, and should be inspected bi-annually to ensure that they do not contain trapped lint or moisture.

Components and Conditions Needing Service

We recommend the dryer vent be cleaned to insure it is not dirty or clogged. There is lint in the attic around the vent and it appears to be clogged.

We recommend the dryer vent be cleaned to insure it is not dirty or clogged which appears clogged in the attic - *Continued*



Washer Pan

Informational Conditions

We recommend a washer pan and audible alarm be placed under the washer given its location which could flood the home if the washer leaks. This is only a recommendation and you may wish to consider this option.



Garage

It is not uncommon for moisture to penetrate garages, because their slabs are on-grade. Evidence of this is typically apparent in the form of efflorescence, or salt crystal formations, that result when moisture penetrates the concrete slab or sidewalls. This is a common with garages that are below grade, and some sidewalls are even cored to relieve the pressure that can build up behind them, and which actually promotes drainage through the garage. Also, if there is living space above the garage, that space will be seismically vulnerable. Ideally, the columns and beams around the garage door will be made of structural steel, but in many residences these components are made of wood but could include some structural accessories, such as post-straps and hold-downs, and plywood shear paneling. However, we are not an authority in such matters, and you may wish to discuss this further with a structural engineer. In addition, and inasmuch as garage door openings are not standard, you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles.

Double-Car Garage

Slab Floor

Components and Conditions Needing Service

The garage is too full to permit a clear view of the slab or walls and we recommend you view the garage empty before close of escrow for any obvious damage.

Walls & Ceiling

Components and Conditions Needing Service

There are open voids in the walls that should be sealed to keep out pests or birds.

There are open voids in the walls that should be sealed to keep out pests or birds - *Continued*



Firewall Separation

Components and Conditions Needing Service

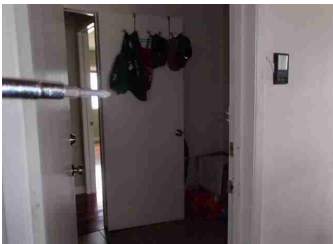
The void in the garage firewall must be repaired, in order to maintain the necessary firewall separation between the garage and the residence.



Entry Door Into the House

Components and Conditions Needing Service

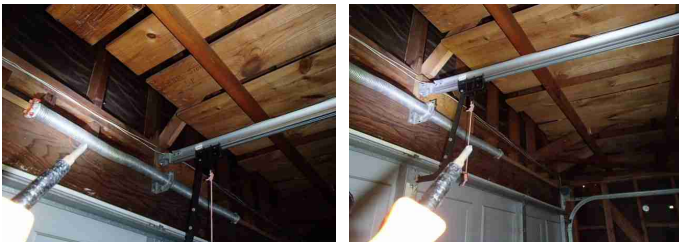
The house entry door is not self-closing and is required to be, to maintain the necessary firewall separation between a garage and living quarters, and will need to be serviced.



Garage Door & Hardware

Components and Conditions Needing Service

The cables are loose and the springs need serviced by a licensed garage door specialist. The springs that lift the door should be tightened to the proper tension by a specialist. The door should be able to be open manually with minimal effort and hold the door in the full open position if the unit fails or the power is out.



Outlets

Components and Conditions Needing Service

All the outlets should have ground fault protection, which is mandated by current standards and is an important safety feature.



The outlet on the interior wall is recessed in the wall and needs to be serviced to be functional.



Electrical

Components and Conditions Needing Service

There is exposed electrical romex below 8.5 ft that we recommend be in conduit or covered to protect the wire.



Attic

In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

Primary Attic

Attic Access Location

Informational Conditions

The attic can be accessed through a hatch in the hallway ceiling.



Method of Evaluation

Informational Conditions

We evaluated the attic by direct access. Only 85% percent of the attic was able to be inspected due to limited accessibility of some areas.

Exhaust Ducts

Components and Conditions Needing Service

The main bathroom exhaust duct should be extended to an exterior vent port.

No Insulation

Components and Conditions Needing Service

Insulation has been moved or pulled up in some areas and should be replaced or reinstalled to help with energy loss in heating and cooling the residence.



REPORT CONCLUSION

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Congratulations on the purchase of your new home. Inasmuch as we never know who will be occupying or visiting a property, whether it be children or the elderly, we ask you to consider following these general safety recommendations: install smoke and carbon monoxide detectors; identify all escape and rescue ports; rehearse an emergency evacuation of the home; upgrade older electrical systems by at least adding ground-fault outlets; never service any electrical equipment without first disconnecting its power source; safety-film all non-tempered glass; ensure that every elevated window and the railings of stairs, landings, balconies, and decks are child-safe, meaning that barriers are in place or that the distance between the rails is not wider than three inches; regulate the temperature of water heaters to prevent scalding; make sure that goods that contain caustic or poisonous compounds, such as bleach, drain cleaners, and nail polish removers be stored where small children cannot reach them; ensure that all garage doors are well balanced and have a safety device, particularly if they are the heavy wooden type; remove any double-cylinder deadbolts from exterior doors; and consider installing child-safe locks and alarms on the exterior doors of all pool and spa properties.

We are proud of our service, and trust that you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every minor defect. Also because we are not specialists or because our inspection is essentially visual, latent defects could exist. Therefore, you should not regard our inspection as conferring a guarantee or warranty. It does not. It is simply a report on the general condition of a particular property at a given point in time. Furthermore, as a homeowner, you should expect problems to occur. Roofs will leak, drain lines will become blocked, and components and systems will fail without warning. For these reasons, you should take into consideration the age of the house and its components and keep a comprehensive insurance policy current. If you have been provided with a home protection policy, read it carefully. Such policies usually only cover insignificant costs, such as that of roofer service, and the representatives of some insurance companies can be expected to deny coverage on the grounds that a given condition was preexisting or not covered because of what they claim to be a code violation or a manufacture's defect. Therefore, you should read such policies very carefully, and depend upon our company for any consultation that you may need.

Thank you for taking the time to read this report, and call us if you have any questions or observations whatsoever. We are always attempting to improve the quality of our service and our report, and we will continue to adhere to the highest standards of the real estate industry and to treat everyone with kindness, courtesy, and respect.

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